

LOCAL DEVELOPMENT PLAN

WEV-LDP-170 (October 2023)

Location + Description - Cottage Lots (Stage 3)

The Cottage Lots are located on the southern side of each cluster. There are 14 Cottage Lots within Stage 3. As per the Witchcliffe Ecovillage Structure Plan, they have a density of R30-R40. The lots are typically 450sqm (15x30m) and are on a north-south axis, which is the best orientation for lots of this size, shape and density to achieve desirable passive solar built form outcomes.

The Cottage Lots achieve vehicle access from the primary street on the southern boundary of the lot. The northern boundary is adjacent to the community garden, where every lot is allocated garden beds for food production. This proximity encourages involvement in community garden projects and activities. The dwellings are required to present attractive building facades to both the street and the community garden.

The link from the Cottage Lots to the community garden also provides the residents with a connection to the pedestrian network that passes through all of the community gardens. The pedestrian network links all Ecovillage clusters, the community common areas, and the public spaces (including the oval and the Village Square).

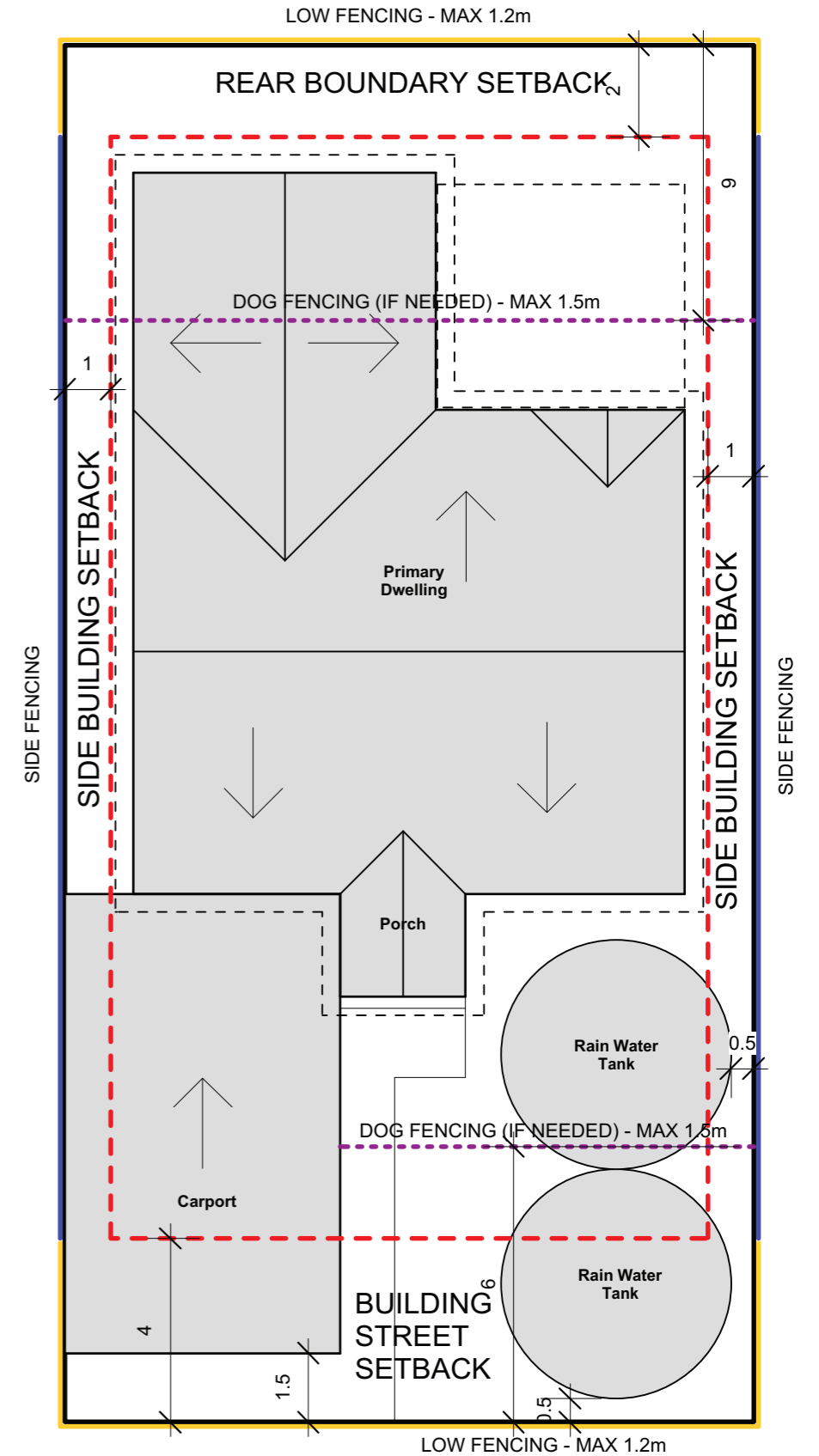
Setback Requirements

Setback Element	Requirement	Notes
Building (Primary Street)	4.0m min.	Setback from boundary. No setback averaging.
Building (Secondary Street)	1.0m min.	Setback from boundary.
Building (Side - Internal)	1.0m min.* ^{AA}	Setback from boundary. No boundary development.
Building (Side - Community Garden)	1.0m min.* ^A	Setback from boundary. No boundary development.
Building (Rear)	2.0m min.*	Setback from boundary. No boundary development.
Eave	0.5m min.	Setback from boundary.
Carport (Primary Street)	1.5m min.	Setback from Primary Street boundary
Carport (Side)	Nil / 1.0m ^A	Setback from side boundary (subject to building code fire requirements).
Verandahs, Balconies	2.0m max.	Encroachment into street setbacks or side / rear boundary setbacks abutting the community garden.
Outbuilding	1.0m min.**	Setback from any non-street boundary.
Rainwater Tank	0.5m min.	Setback from any boundary.
Rainwater Tank (Exclusion Zone)	12.0m min	Setback for rainwater tanks from rear (community garden) boundary.

* - Setbacks do not need to account for wall height or length, nor the size of window openings.
 ** - Nil boundary setback for outbuildings is possible in certain locations, see text in Provision 27.
 ^ - Set back 1.0m when abutting common property. See Provision 22.
 ^^ - Visual Privacy setbacks, as described in Provision 19, apply if Finished Floor Level is more than 0.5m above Natural Ground Level



Location Plan - Cottage Lots (Stage 3)



Typical Setbacks + Fencing



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DRAWING TITLE
 LOCAL DEVELOPMENT PLAN
 STAGE 3 COTTAGE LOTS

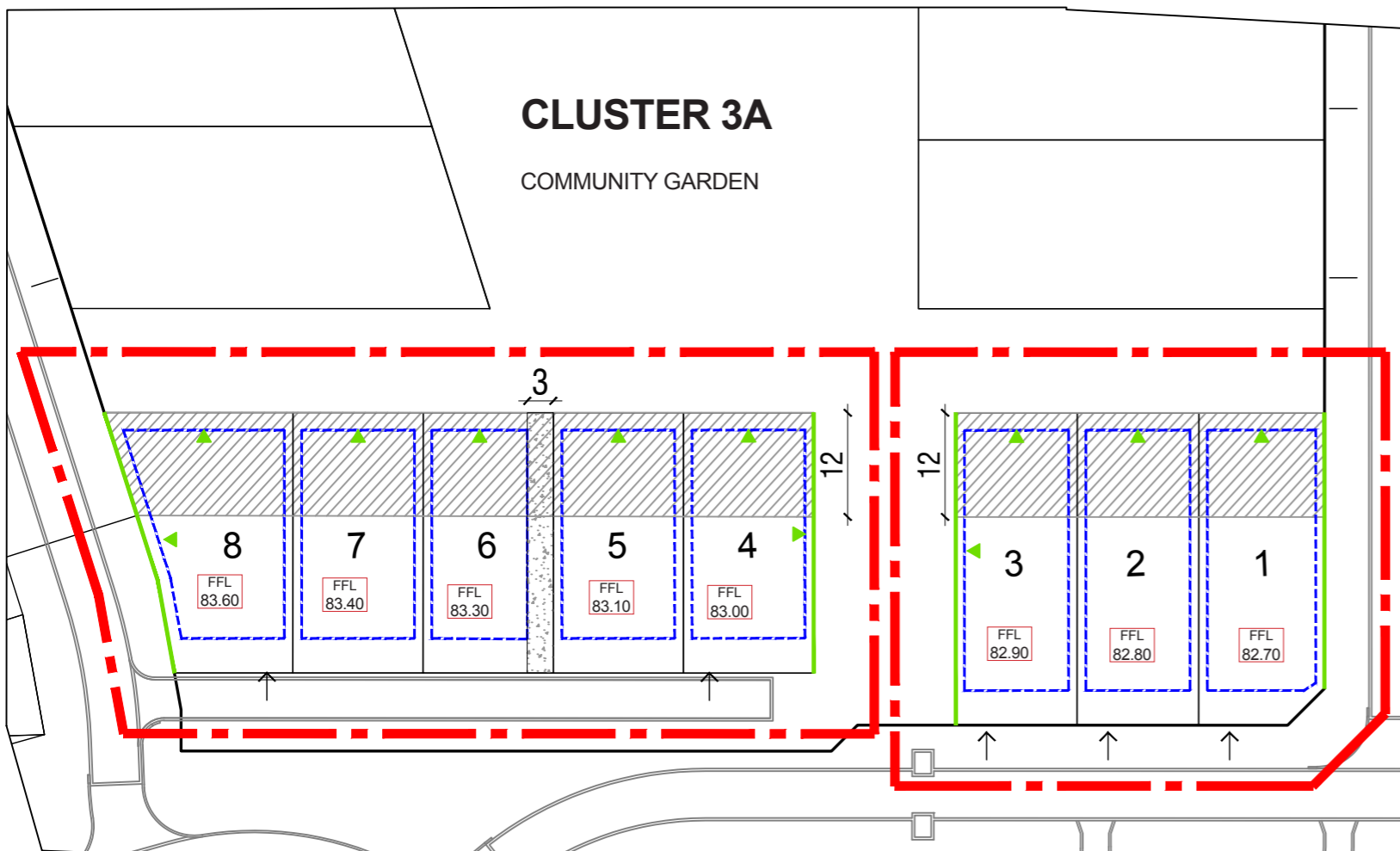
SCALE
 NTS

REV	DATE	DESCRIPTION
A	24.06.21	FOR REVIEW
B	16.09.21	COTTAGE LOTS 1,3,4 SIDE BOUNDARIES to 1.0m
C	30.09.21	DRAFT UPDATES
D	04.07.23	UPDATE FFLs

REV
D
 DRAWING NUMBER
 WEV-LDP-170-1

CLUSTER 3A

COMMUNITY GARDEN

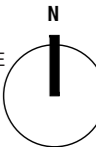


LEGEND

- - - EXTENT OF STAGE 3 COTTAGE LOTS LDP
- STRATA LOT BOUNDARIES
- ↑ VEHICLE CROSSOVER LOCATION
- - - DWELLING BOUNDARY SETBACK
- SITE SPECIFIC SETBACKS (NOT TYPICAL)
- ▶ MUST PROVIDE PASSIVE SURVEILLANCE
- 50% VISUALLY PERMEABLE FENCING
- RAINWATER TANK EXCLUSION ZONE (NO ABOVE-GROUND RAINWATER TANKS)
- SEWER EASEMENT
- FFL
xx.xx MINIMUM REQUIRED FINISHED FLOOR LEVEL TO ACHIEVE 300mm CLEARANCE TO 1:100 YR FLOOD LEVELS

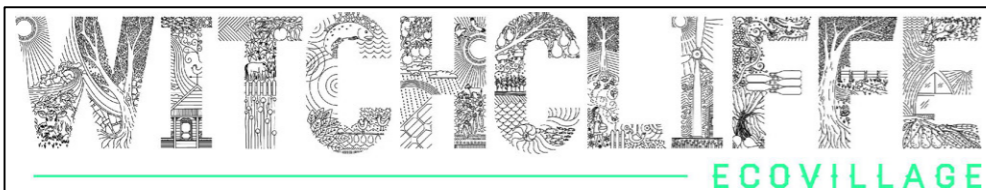
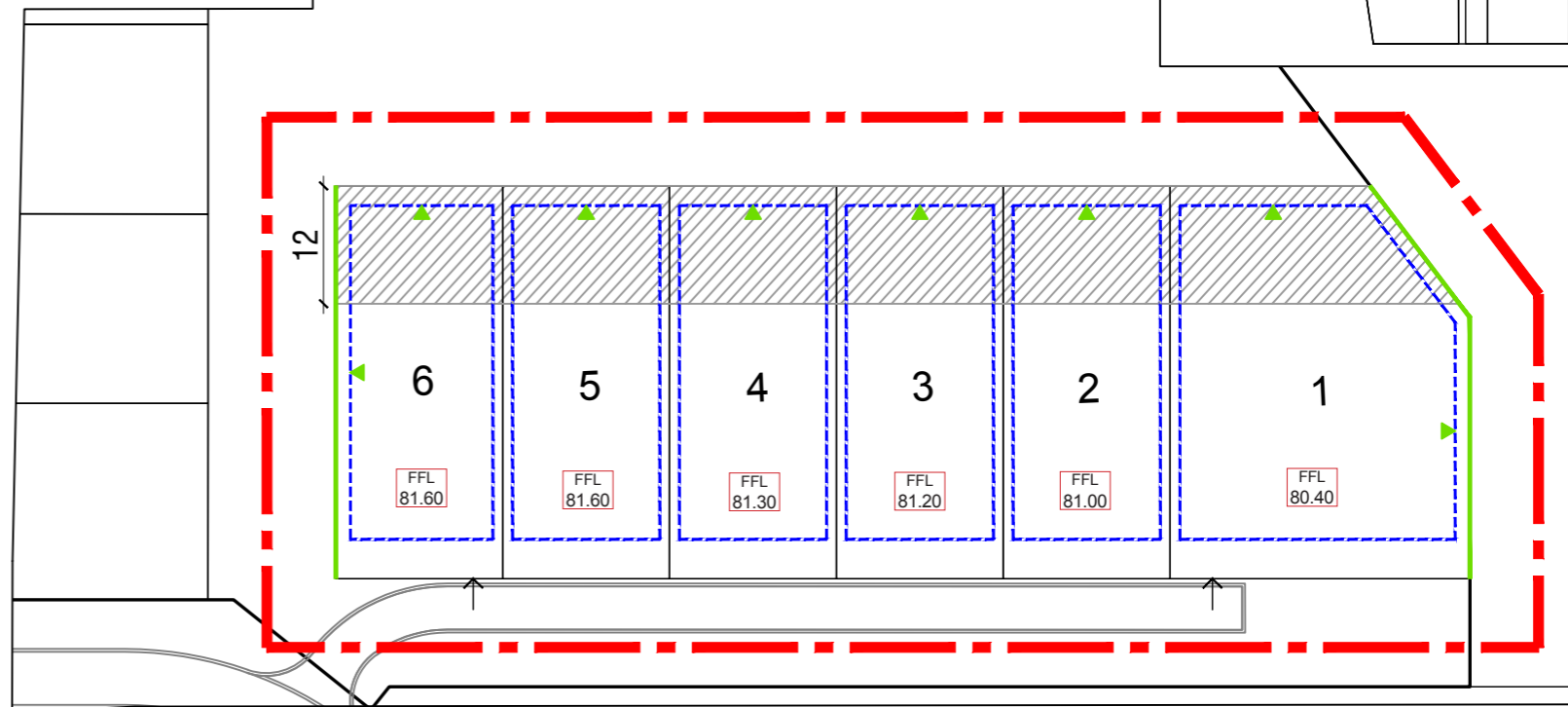
LOCATION PLAN

WITCHCLIFFE ECOVILLAGE
STAGE 3, COTTAGE LOTS
SCALE: NTS



CLUSTER 3B

COMMUNITY GARDEN



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**LOCAL DEVELOPMENT PLAN
STAGE 3 COTTAGE LOTS**

SCALE
1:750 @ A3

REV	DATE	DESCRIPTION
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REV **D**

DRAWING NUMBER
WEV-LDP-170-2

Application of Local Development Plan

"Cottage Lots," Stage 3, Witchcliffe Ecovillage, Bussell Hwy, Witchcliffe WA 6286

GENERAL PROVISIONS

- The provisions of the Shire of Augusta-Margaret River Local Planning Scheme No1(LPS 1) and State Planning Policy 7.3 Residential Design Codes (R-Codes) are varied as detailed within the Local Development Plan (LDP).
- All other requirements of the LPS 1 and R-Codes shall be satisfied in all other matters.
- If all applicable provisions of this LDP, the R-Codes, and LPS1 are satisfied, development proposals are exempted from the requirement to obtain Development Approval from the Shire of Augusta-Margaret River. However, all proposed developments must obtain a Building Permit prior to commencing construction.

RESIDENTIAL DESIGN CODES

- The R-Code applicable to these lots is R30-R40 as per the endorsed Witchcliffe Ecovillage Structure Plan.
- The following R-Code Clauses are not applicable to these lots: 5.1.1; 5.3.2; 5.3.6; 5.3.9
- The following R-Code Clauses are replaced by provisions within this LDP: 5.1.2 (C2.1, C2.2, C2.4); 5.1.3; 5.1.6; 5.2.1 (C1.1, C1.2); 5.2.2; 5.2.3 (C3.1, C3.2); 5.2.4; 5.3.1; 5.3.3 (C3.1, C3.2); 5.3.5 (C5.3); 5.3.7 (C7.2); 5.4.1 (C1.1); 5.4.4 (C4.3), 5.5.1 (C1)

STREETSCAPE

- Dwellings must provide passive surveillance to the secondary street and community gardens where indicated on the LDP.
- Direct pedestrian connections to be provided from each lot to the community garden to the north.
- Primary pedestrian entry from the street cannot be via a carport (must be discrete pathway).
- Visual obstructions within the Primary Street setback must be separated by at least 1.5m to allow the building entry to be clearly visible from the street.
- Fencing within the primary street setback to be a maximum height of 1.2m.
- Fencing to rear boundaries to be a maximum height of 1.2m and must include gate access to the community garden.
- In order to meet the design guidelines, side fencing in certain sensitive locations (indicated as '50% visually permeable fencing' on the adjacent plan) to be a maximum height of 1.8m, with either:
 - 50% visual permeability above 1.2m along its entire length, or
 - maximum of 1.2m along 50% of its length
- Fencing of up to 1.5m in height may be placed parallel to the primary street or rear frontages if set back at least 6.0m from the boundary.

DESIGN ELEMENTS

- Maximum building wall plate height of 6.5m (measured at the downslope wall for a dwelling with a skillion roof).
- Maximum parapet wall height of 7.5m.
- Maximum roof ridge height of 9.5m.
- The use of zincalume is permitted for roofs and rainwater tanks.
- Visual privacy setbacks do not apply to boundaries abutting a public street or communal open space. For other boundaries, the following visual privacy setbacks apply:
 - Major openings to bedrooms and studies – 3m
 - Major openings to other habitable rooms – 4.5m
 - Unenclosed outdoor active habitable spaces – 6m

VEHICLE ACCESS + PARKING

- No garages facing the street are allowed.
- A garage with vehicle doors facing a side boundary is allowed, subject to the following parameters:
 - Garage must be a discrete building separate to the primary dwelling (can be connected by covered walkway)
 - Primary dwelling must have a clear entry visible from the street
 - Garage must be set back behind the Primary Street setback
 - Garage must include a min. 1m² window facing the street
- Carports abutting common property must be setback 1m from the associated side boundary and have no visual obstructions above 1.2m (on the relevant side).
- On-site visitor parking is not required - sufficient visitor parking is provided on-street.
- Crossovers to be constructed in the locations shown on the LDP.
- All dwellings can substitute one (1) required car bay for two (2) covered, designated bicycle or motorcycle bays.

OPEN SPACE

- The area occupied by rainwater tanks is to be included as open space in open space percentage calculations.
- A minimum of 20m² to be provided as outdoor living space.

STORMWATER + DRAINAGE DESIGN

- To reduce flooding risk and damage, minimum Finished Floor Levels (FFL) are as specified on the LDP map. This is to ensure the FFL is a minimum 300mm above 1:100-year flood levels relevant to each individual lot. Specified FFLs can only be varied through a Development Approval process.

INCIDENTAL DEVELOPMENT

- Ancillary dwellings are permitted subject to C1 criteria (i-iv) at 5.5.1 of the R-codes (excepting references to single house/s).
- Above-ground rainwater tanks are not allowed in the 'Rainwater Tank Exclusion Zone' (depicted on the adjacent plan).

- Sufficient rainwater tank storage and roof area must be provided based on intended occupancy to comply with the Witchcliffe Ecovillage Residential Water Management Plan. At a minimum, plans must show sufficient space for 37,500 litres of rainwater storage and 100m² of roof catchment.
- A minimum of 6kW of solar panels and a 5kW inverter are required to be provided for each dwelling. Indicate number of panels, kW per panel, and panel locations on roof plan, inverter size and location on site plan.
- Outbuildings may not be constructed within the primary or secondary street setbacks, and must maintain a 1m setback from other boundaries. Outbuildings may be built on the boundary in two locations:
 - where it is directly associated with a carport (same structure):
 - completely behind the street setback line
 - boundary wall does not exceed 3m in height
 - where it is facing onto the Exclusive Use Zone of the dwelling:
 - maximum width of 3m on boundary
- Service equipment for heating, cooling, or hot water storage to be placed (or screened) such that it does not visually impact the common property.

APPROVAL

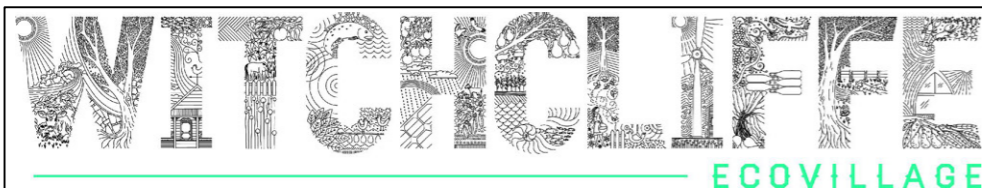
- This LDP has been approved by the Shire of Augusta-Margaret River under Part 6 - Local Development Plans of AMRSC Local Planning Scheme No1.



27 May 2024

SIGNATURE
Matt Slocomb
 Acting Manager, Planning & Regulatory Services

DATE



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