

LOCAL DEVELOPMENT PLAN

WEV-LDP-710 (February 2023)

"Agricultural Lots," Witchcliffe Ecovillage, Bussell Hwy, Witchcliffe WA 6286

LOCATION AND DESCRIPTION - AGRICULTURAL LOTS

The LDP covers three distinct areas within the Ecovillage, labelled on the map to left as Areas 1-3. Area 1 sits just south of Mill Road, and comprises 12 strata lots with a common driveway providing access. Area 2 comprises a single lot that sits just north of Kulbardi Way and east of Mannitj Place. Area 3 comprises a larger single lot in the south-east corner of the Ecovillage.

The lots the subject of this LDP are intended for agricultural and horticultural uses with no dwelling entitlement, as per the land use expectations set out in the Witchcliffe Ecovillage Structure Plan and as proposed in the 'Special Use' zone anticipated under the new Shire of Augusta Margaret River Local Planning Scheme.

OBJECTIVES

Development within the LDP area shall:

- facilitate the production of high-quality, organic products grown on site
- create a rural aesthetic via landscape and building style / configuration
- be consistent with the design principles, materials selections, and sustainability ethos of the Witchcliffe Ecovillage

APPLICATION OF LOCAL DEVELOPMENT PLANS

Lot owners shall submit development proposals to the Developer and demonstrate compliance with the design requirements of the Witchcliffe Ecovillage Design Guidelines prior to submittal to the Shire of Augusta-Margaret River for Development Approval and Building Permit.

Any development that seeks to vary the provisions of this LDP will need to demonstrate consistency with the objectives of this LDP and the Witchcliffe Ecovillage Structure Plan to the satisfaction of the Shire of Augusta-Margaret River.

GENERAL PROVISIONS

1. Boundary setbacks, building height and floor area to be as per this Local Development Plan.
2. Buildings to be appropriately screened via landscape or productive agriculture and horticulture when viewed from surrounding public roads or adjacent residential properties.
3. The use of zincalume for roofs and rainwater tanks is permitted.

Shire of Augusta Margaret River
MATT CUTHBERT
Manager
Planning and Regulatory Services



22 December 2022

Signature

Date



Location Plan - Agricultural Lots

Zone	Setbacks	Maximum wall height	Maximum roof height (ridge)	Maximum floor area per building	Notes
Ecovillage Agriculture Area 1	Refer to Plan on LDP-710-2				Watercourse setback: 30m
Farm Building		3.5	8.0m	200m2	Excludes water tank
Ecovillage Agriculture Area 2	Refer to Plan on LDP-710-2				
Farm building		3.5	8.0m	200m2	Excludes water tank
Ecovillage Agriculture Area 3	Refer to Plan on LDP-710-2				Watercourse setback: 30m
Farm building / Winery				300m2	Excludes water tank



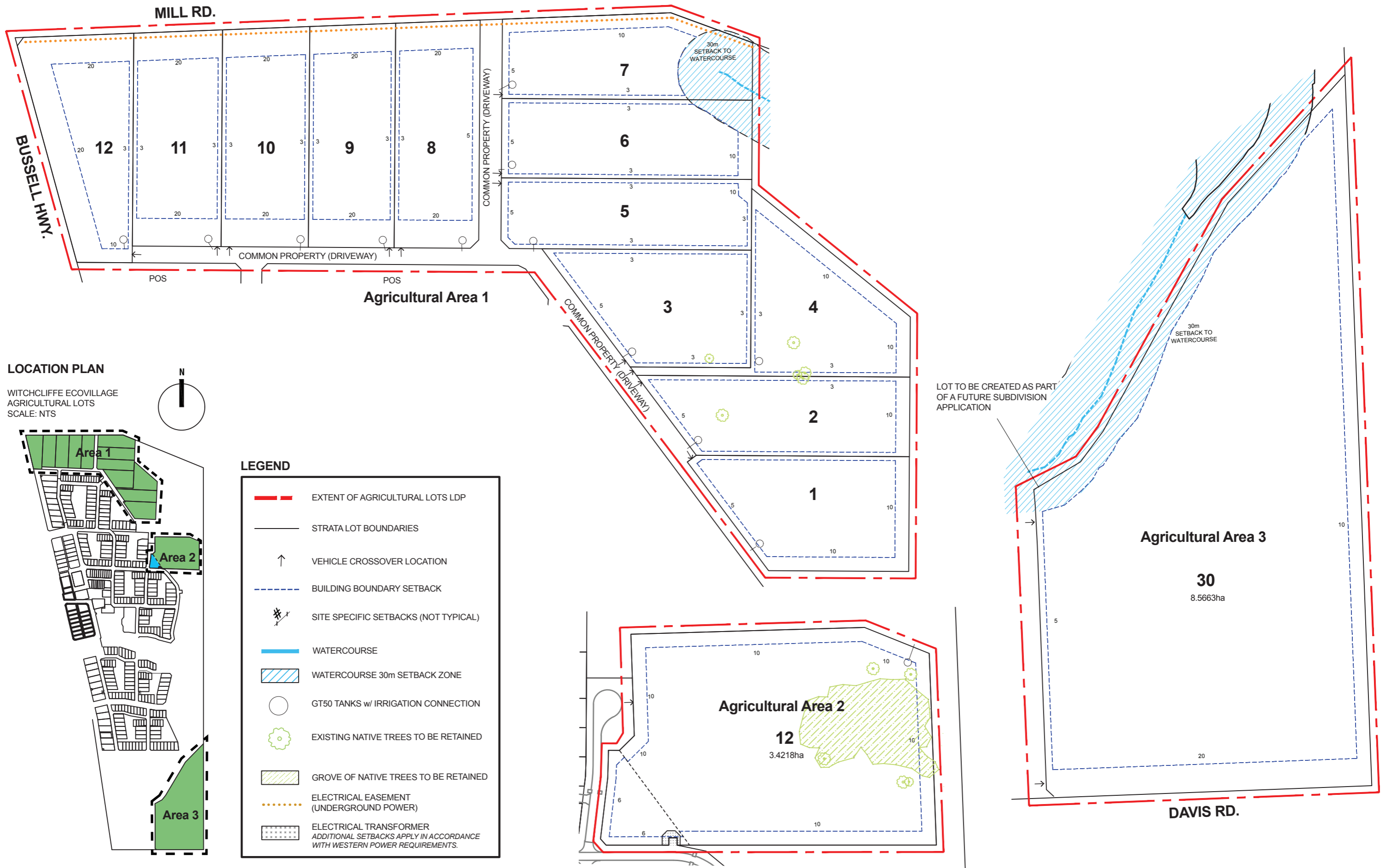
LOTS 2807 & 2812 BUSSELL HIGHWAY, WITCHCLIFFE
Sustainable Settlements Pty Ltd / Perron Developments Pty Ltd
Sustainable Human Settlement Design & Development
10412 Bussell Hwy
Witchcliffe WA 6286
www.ecovillage.net.au
(08) 9757 6688

DRAWING TITLE
LOCAL DEVELOPMENT PLAN
AGRICULTURAL LOTS

SCALE
NTS

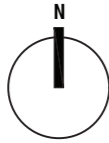
REV	DATE	DESCRIPTION
A	09.03.22	FOR REVIEW
B	19.08.22	FOR REVIEW
C	05.09.22	FOR REVIEW
D	13.09.22	FOR APPROVAL
E	17.10.22	FOR APPROVAL
F	14.02.23	FOR APPROVAL

REV
F
DRAWING NUMBER
WEV-LDP-710-1



LOCATION PLAN

WITCHCLIFFE ECOVILLAGE
 AGRICULTURAL LOTS
 SCALE: NTS



LEGEND

- EXTENT OF AGRICULTURAL LOTS LDP
- STRATA LOT BOUNDARIES
- ↑ VEHICLE CROSSOVER LOCATION
- BUILDING BOUNDARY SETBACK
- # SITE SPECIFIC SETBACKS (NOT TYPICAL)
- WATERCOURSE
- WATERCOURSE 30m SETBACK ZONE
- GT50 TANKS w/ IRRIGATION CONNECTION
- EXISTING NATIVE TREES TO BE RETAINED
- GROVE OF NATIVE TREES TO BE RETAINED
- ELECTRICAL EASEMENT (UNDERGROUND POWER)
- ELECTRICAL TRANSFORMER
ADDITIONAL SETBACKS APPLY IN ACCORDANCE WITH WESTERN POWER REQUIREMENTS.



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DRAWING TITLE
**LOCAL DEVELOPMENT PLAN
 AGRICULTURAL LOTS**

SCALE
 1:2500 @ A3

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REV	F
DRAWING NUMBER	
WEV-LDP-710-2	