

LOCATION PLAN

WITCHCLIFFE ECOVILLAGE
COMMERCIAL LOTS
SCALE: NTS

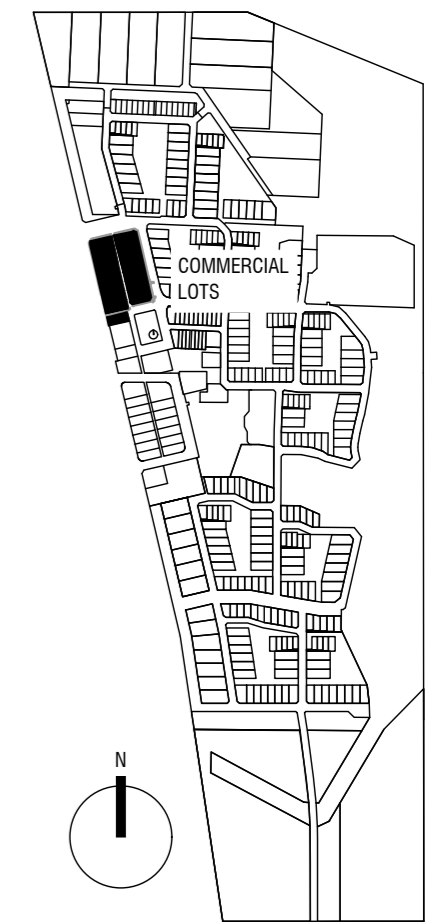


FIGURE 1:
STAGE 3
COMMERCIAL LOTS

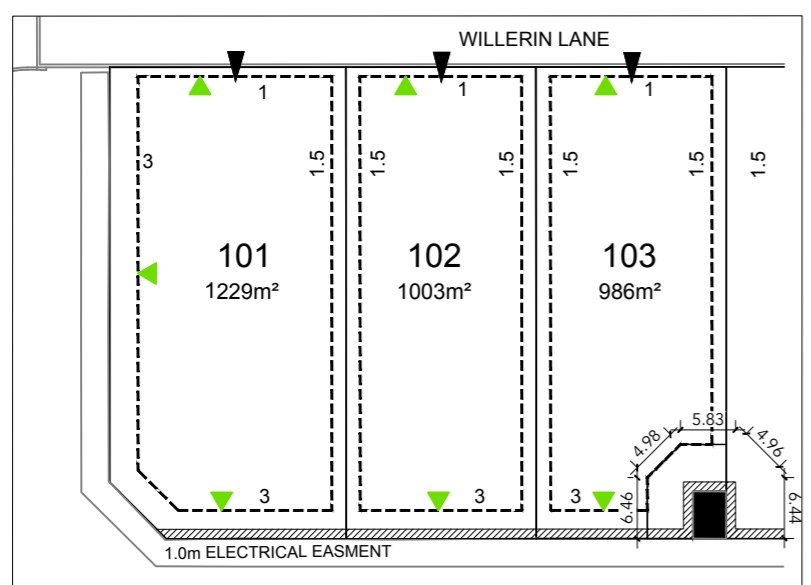
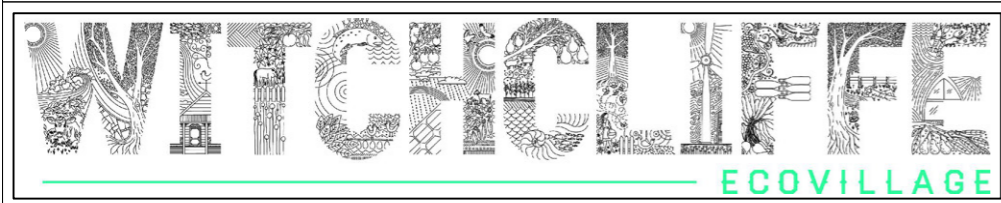


FIGURE 2:
PROPOSED
FUTURE SUBDIVISION
OF LOT 1 (SP 84745)

LEGEND

- EXTENT OF STAGE 3 COMMERCIAL LOTS LDP
- LOT BOUNDARIES
- VEHICLE ACCESS
- BUILDING BOUNDARY MINIMUM SETBACK
- MINIMUM SETBACKS (IN METRES)
- MANDATORY FRONTAGE BUILDOUTS (3.3)
- MUST PROVIDE PASSIVE SURVEILLANCE (3.4h)
- ARCHITECTURAL RESPONSE REQUIRED
- SEWER EASEMENT SETBACK
- STRATA ELECTRICAL EASEMENT
- ENCROACHMENT ZONE (3.3f)
- MANDATORY AWNING COVERAGE TO FOOTPATH
- ELECTRICAL TRANSFORMER
ADDITIONAL SETBACKS APPLY IN ACCORDANCE WITH WESTERN POWER REQUIREMENTS.
- PARKING BAYS ALLOCATED FROM ADJACENT STREET PARKING



LOTS 2807 & 2812 BUSSELL HIGHWAY, WITCHCLIFFE
Sustainable Settlements Pty Ltd / Perron Developments Pty Ltd
Sustainable Human Settlement Design & Development
10412 Bussell Hwy
Witchcliffe WA 6286
www.ecovillage.net.au
(08) 9757 6688

DRAWING TITLE
**LOCAL DEVELOPMENT PLAN
STAGE 3 COMMERCIAL LOTS**

SCALE
1:800 @ A3

Shire of Augusta Margaret River
MATT CUTHBERT
Manager
Planning and Regulatory Services

REV	DATE	DESCRIPTION
A	08.12.21	FOR REVIEW
B	28.01.21	FOR REVIEW
C	04.02.22	FOR REVIEW
D	12.04.22	BAYS ALLOCATED NOTE ADDED
E	12.04.22	NOTES AMENDED AS PER AMRS COMMENTS
F	19.04.22	AMENDED AS PER JT COMMENTS
G	20.04.22	LOT 6, & 1 AMENDED SETBACKS

REV **G**

DRAWING NUMBER
WEV-LDP-200-1

Application of Local Development Plan

1. LOCATION AND DESCRIPTION – COMMERCIAL LOTS

- This LDP applies to the Lots identified as Lots 1-7 on SP 84744, Lots 1-6 on SP 84745 and Lot 6 Bussell Highway on the LDP plan.
- The LDP area is located immediately to the northeast of the existing Witchcliffe townsite and is effectively an expansion of the commercial core of Witchcliffe along Bussell Highway.
- The lots the subject of this LDP are to be zoned Village Centre under the Shire of Augusta Margaret River Local Planning Scheme No. 1, as amended from time to time.

2. OBJECTIVES

- Development within the LDP area shall:
 - expand the Witchcliffe Village Centre in a manner that maintains the rural village character of the townsite while meeting the commercial needs of new businesses.
 - design the public interface to create a cohesive streetscape environment that is visually interesting and engaging for pedestrians.
 - design street frontages to increase pedestrian safety through passive surveillance.
 - be designed to minimise the need for artificial lighting, heating, and cooling.
- Lot Owners shall submit development proposals to the Developer and demonstrate compliance with Commercial Precinct Building Design Guidelines prior to submittal to the Shire of Augusta-Margaret River for Development Approval and Building Permit.
- Any development that seeks to vary the provisions of this LDP will need to demonstrate consistency with the objectives of this LDP to the satisfaction of the Shire of Augusta-Margaret River.

3. APPLICATION OF LOCAL DEVELOPMENT PLANS

3.1 General Provisions

- The provisions of the Shire of Augusta-Margaret River Local Planning Scheme No1 (LPS 1) and State Planning Policy 7.3 Residential Design Codes (R-Codes) are varied as detailed within the Local Development Plan (LDP).
- All development on the lots to which this LDP applies shall be consistent with the provisions of this LDP. Consistency with the LDP does not negate the need for a Development Approval or a Building Permit prior to commencing construction.

3.2 Residential Design Codes

- Where development includes residential uses, the R-Codes will apply in accordance with the provisions of the R60 code, as varied by this LDP.
- The following deemed-to-comply provisions for the RD-Codes Vol.1 do not apply and are replaced with the following provisions of the LDP:
 - Street setbacks (C2.1, C2.2) replaced by the provisions of Clause 3.3 of the LDP
 - Lot boundary setbacks (C3.1, C3.2) replaced by the provisions of Clause 3.3 of the LDP
 - 5.1.6 Building Height (C6) replaced by the provisions of Clause 3.5 of the LDP
 - 5.3.3 Parking (C3.1, C3.2, C3.2) replaced by Clause 3.6 of the LDP
- The primary controls for the R-Codes Vol. 2 for setbacks, building height and parking are also varied by the LDP as above.

3.3 Setback Requirements

- Development within the LDP area shall be setback from the lot boundaries as illustrated graphically on the LDP plan.
- Ground floor walls shall be set back 1.5m minimum from a northern and southern boundary. Any portions of wall higher than 4m along a southern boundary must be setback by 6.0m (refer Figure 3).
- Residential or tourism development must be located i) above a non-residential use or ii) setback at least 20m from the Primary Street boundaries. Within this LDP, the Primary Streets are considered to be Wolghine Avenue and Bussell Highway.
- Development on Lots 4-6 on SP 84745 and Lot 6 Bussell Highway shall build-out a minimum of 60% of the potential frontage at the front setback line to Bussell Highway.
- Development on Lots 1-7 on SP 84744 shall build-out a minimum of 50% of the potential frontage to the front setback line along Wolghine Avenue (3m).
- Up to 40% of the potential building frontage on Lots 1-7 on SP 84744 may encroach into the 3m setback along Wolghine Avenue (up to 1m minimum setback).

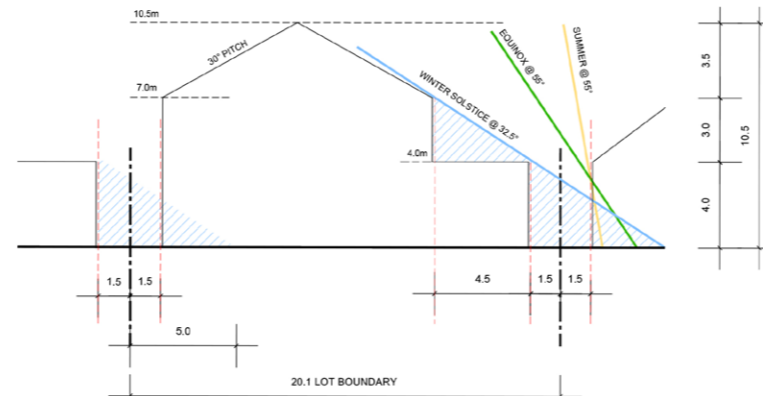


Figure 3. Building Height and Setback Profile

- Verandas, awnings and pergolas on:
 - Lots 1-7 on SP 84744 may extend to the Wolghine Avenue boundary.
 - Lot 6 on SP 84745 and Lot 6 Bussell Highway may extend to the boundaries along the PAW.
- Development on Lot 1 on SP 84744 shall build-out a minimum of 60% of the potential frontage at the setback line to Kulbardi Way (1m).
- Development on Lot 6 on SP 84745 and Lot 6 Bussell Highway shall build-out a minimum of 40% of the potential frontage at the setback line to the Pedestrian Access Way (PAW) between Kulbardi Way and Bussell Highway.
- For the purpose of meeting the frontage 'build-out' requirements (3.3 d,e,h,i), open structures such as verandahs, awnings, and pergolas can be combined with building façade elements.

3.4 Streetscape

Street Interface and Passive Surveillance

- Commercial development shall address the adjacent street (or PAW) with the main pedestrian entrance, which shall remain unlocked during normal business hours.
- Any residential dwelling or ancillary development constructed at the rear of Lots 1-7 on SP 84744 and Lots 1-6 on SP 84745 shall have a clear connection between Willerin Lane and the main pedestrian entrance, either through direct visual / physical connection or via appropriate landscape treatment.
- Facades of buildings with frontage to Bussell Highway on Lots 4-6 on SP 84745 and Lot 6 Bussell Highway shall consist of 60% minimum clear glazing (applies to ground floor up to 3m in height).
- Facades of buildings with frontage to the PAW between Bussell Highway and Kulbardi Way on Lot 6 on SP 84745 and Lot 6 Bussell Highway shall consist of 40% minimum clear glazing (applies to ground floor up to 3m in height).
- Facades of buildings with frontage to Wolghine Avenue and Kulbardi Way on Lots 1-7 on SP 84744 shall consist of 50% minimum clear glazing (applies to ground floor up to 3m in height).
- Development shall provide passive surveillance in locations indicated on the LDP Plan with major openings from habitable rooms or other active spaces (such as offices, café, showrooms).
- Where a building is located within 6.0m of Willerin Lane, passive surveillance shall be provided (minimum one major opening from a habitable room).
- Fencing / walls along Willerin Lane shall be limited to 1.2m in height along 50% of the frontage.

Awnings

- Development on Lots 4-6 on SP 84745 and Lot 6 Bussell Highway shall include a continuous awning over the adjacent Bussell Highway footpath (within the public road reserve) for the portion of building along the front boundary.
- The minimum width of the awning shall be 3m, with a minimum clearance height of 3.0m over the primary footpath thoroughfare. Awning height may reduce at the footpath edge for certain styles (eg. bullnose veranda) but in no case shall it be lower than 2.4m.
- For Lots 4-6 on SP 84745 and Lot 6 Bussell Highway, timber posts are required to support the western edge of the awnings (in line with the prevailing character of the Witchcliffe townsite), with minimum cross-sections of 120x120mm.

3.5 Built Form

Architectural Character and Form

- Where nominated as an 'Architectural Response' (A) on the LDP plan, development shall be articulated to respond to the corner location. Articulation may include a taller building element, a bay window, a change in cladding material, or an otherwise distinctive architectural element that provides legibility and visual interest to the streetscape.

- Development on Lots 1-6 on SP 84745 and Lot 6 Bussell Highway shall present to the primary frontage a built form comprising gable roofs or traditional commercial parapet walls that is compatible with the prevailing scale and architectural character of the Witchcliffe townsite buildings.
- Development on Lots 1-7 on SP 84744 shall present to the primary frontage a built form comprising predominantly gable roof forms and single slope verandahs in response to the prevailing scale and architectural character of the adjacent residential area.
- No visible hipped roofs are permitted.
- Gable roofs shall have a minimum slope of 30 degrees.
- The maximum building wall height shall be 7.0m and the maximum pitched roof ridge height shall be 10.5m (refer Figure 3).
- Minimum ground floor height (floor to floor) of Development providing frontage to a Primary Street is 3.0m.

Acoustics

- Any development of residential or tourism accommodation within the LDP area must demonstrate compliance with 'quiet house' design principles to attenuate highway noise, as outlined in SPP 5.4 Road and Rail Noise Guidelines, Sept 2019 (Section 4.4).

Signage

- AMR Shire Local Planning Policy 26 – Signage applies except for the following:
 - These signs will not be supported in the LDP area: C1-C7, H3, I1, J1, K1, L1, M1, M2, N1, O1
 - D2 type signs are further limited to maximum letter height of 500mm and to a horizontal format

3.6 Vehicle Access and Parking

- All vehicular access to Lots 1-7 on SP 84744 and Lots 1-6 on SP 84745 shall be from Willerin Lane.
- For Lots 1-7 on SP 84744 and Lots 1-6 on SP 84745, only one crossover to Willerin Lane is permitted where the lot area is less than 1,800sqm. For any larger lot, as may be created, a maximum of two crossovers are permitted.
- Vehicular access to Lot 6 Bussell Highway shall be from Kulbardi Way (west) with a maximum of one crossover and located adjacent to the southern boundary.
- All on-site parking shall be located at least 12m from the Primary Street boundary and screened from the view from the Primary Street.
- No direct access to residential garage parking is permitted from Willerin Lane.
- Parking bays within the adjacent public street reserve are credited to specific lots (noted on the LDP map in Figure 1), and can be counted toward meeting the Shire's parking requirements (ratios based on those applied to the Margaret River townsite in LPS1).
- Where on-site customer parking is provided, convenient and direct pedestrian access shall be provided to the primary pedestrian entrance at the Primary Street, either by means of an external pathway or through the building via a secondary entrance.

3.7 Open Space

Open Space Area

- The area occupied by rainwater tanks, verandah structures, carports, and covered alfresco areas may be included as Open Space in open space area calculations.

Landscape

- A minimum of 15% of the lot shall consist of vegetated landscape.
- Shade trees to car parking shall be provided at a rate of 1 tree per 4 bays, and shall be of deciduous variety and to a maximum mature height of 4.0m

4. APPROVAL

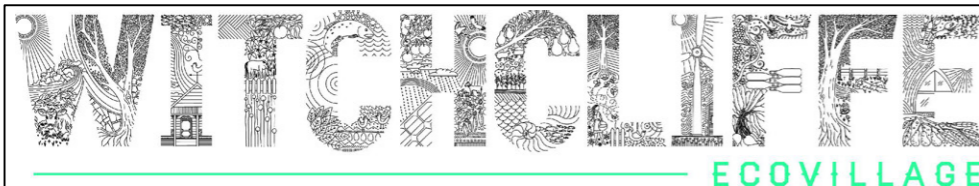
This LDP has been approved pursuant to Clause 52 (1)(a) (Schedule 2) of the Planning and Development (Local Planning Schemes) Regulations 2015 and Part 6 - Local Development Plans of AMRSC Local Planning Scheme No. 1.

Shire of Augusta Margaret River
MATT CUTHBERT
Manager
Planning and Regulatory Services

6 May 2022

Director, Planning and Development Services
Shire of Augusta-Margaret River

Date



LOTS 2807 & 2812 BUSSELL HIGHWAY, WITCHCLIFFE
Sustainable Settlements Pty Ltd / Perron Developments Pty Ltd
Sustainable Human Settlement Design & Development
10412 Bussell Hwy
Witchcliffe WA 6286
www.ecovillage.net.au
(08) 9757 6688

DRAWING TITLE
LOCAL DEVELOPMENT PLAN
STAGE 3 COMMERCIAL LOTS

SCALE
NA

REV	DATE	DESCRIPTION
A	04.02.22	FOR REVIEW
B	12.04.22	BAYS ALLOCATED 3.6 (f) NOTE AMENDED
C	12.04.22	NOTES AMENDED AS PER AMRS COMMENTS
D	19.04.22	AMENDED AS PER JT COMMENTS
E	21.04.22	NOTE 3.3 g + i AMENDED
F	28.04.22	FINAL FORMATTING, MINOR AMENDS

REV	DESCRIPTION
F	
DRAWING NUMBER WEV-LDP-200-2	